



DEMOLITION TO

NEW RIVER VALLEY COMMUNITY SERVICES MONTGOMERY CENTER

510 ROANOKE ST | CHRISTIANSBURG, VA

MOUNTAIN EMPIRE SERVICES OF THE SOUTHWEST

PROJECT PHASE:
DEMOLITION DRAWINGS

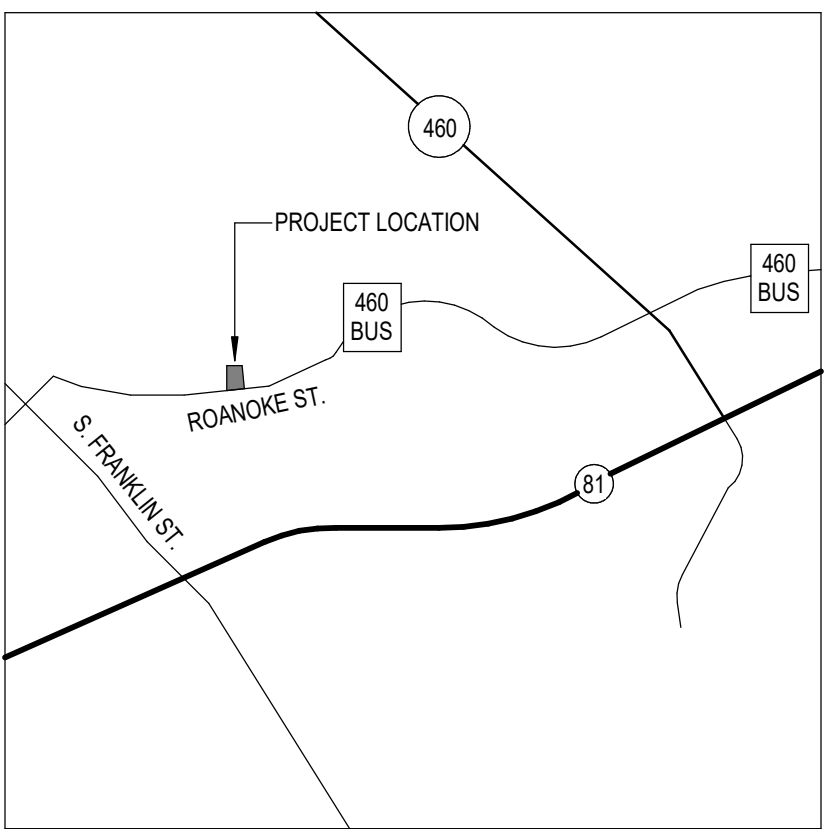
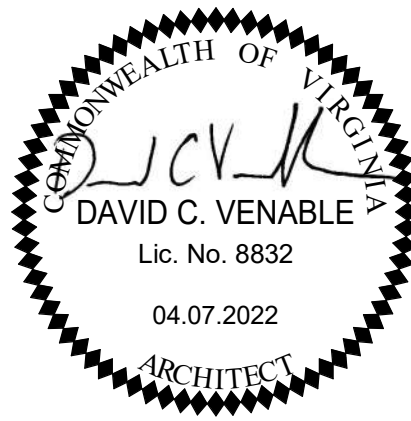
PROJECT DATE:
04.07.2022

SPECTRUM PROJECT NUMBER:
20075

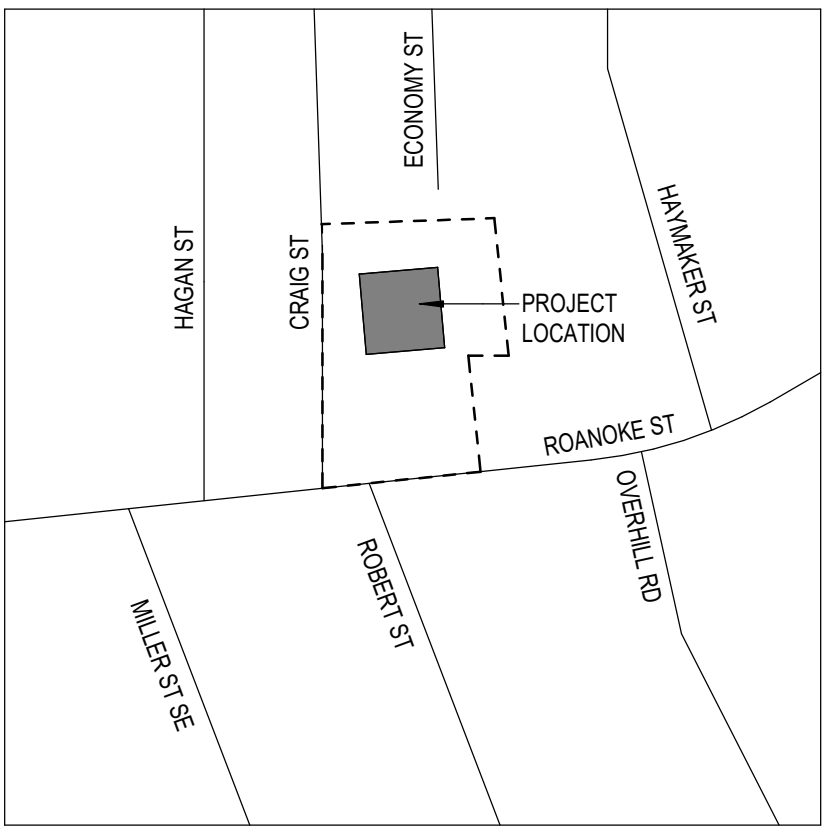
INDEX OF DRAWINGS:

— COVER SHEET

ARCHITECTURAL
D100 GENERAL ARCHITECTURAL INFORMATION & SITE SURVEY
D101 EXISTING FLOOR PLAN & DEMO PLAN - ROOF
D102 DEMOLITION PLAN



PROJECT VICINITY
SCALE: N.T.S.



PROJECT LOCATION
SCALE: N.T.S.

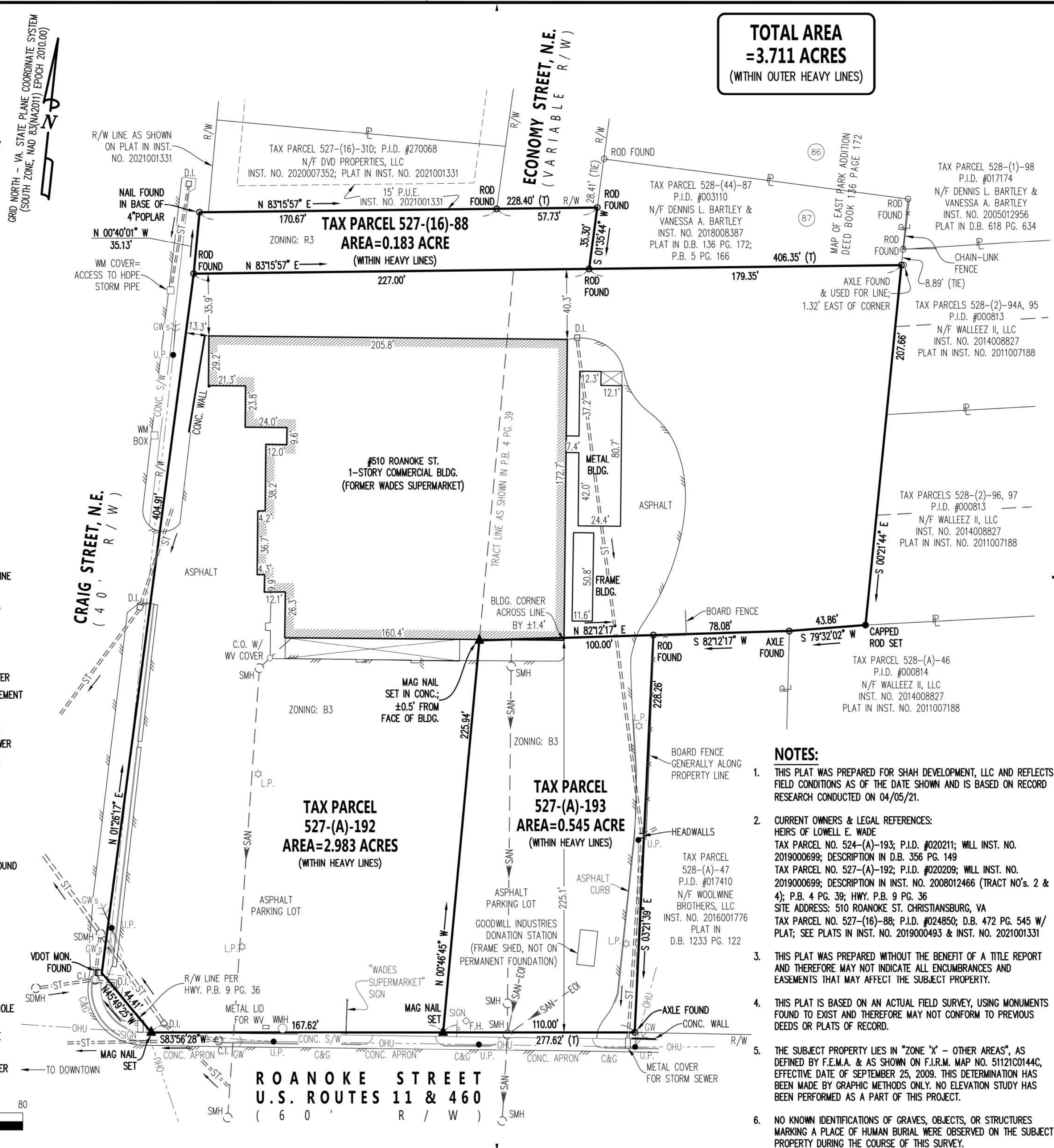
ABBREVIATIONS:

&=AND
±=PLUS OR MINUS
BLDG.=BUILDING
C&G=CURB AND GUTTER
C.I.=CURB INLET
C.O.=UTILITY CLEANOUT
CONC.=CONCRETE
D.B.=DEED BOOK
D.I.=DROP INLET
E.O.=END OF INFORMATION
F.E.M.A.=FEDERAL EMERGENCY MANAGEMENT AGENCY
F.H.=FIRE HYDRANT
F.I.R.M.=FLOOD INSURANCE RATE MAP
G.W.=GUY WIRE
H.WY.=HIGHWAY
INC.=INCORPORATED
INST.=INSTRUMENT
LLC=LIMITED LIABILITY COMPANY/CORPORATION
L.P.=LIGHT POLE / LAMP POST
L.S.=LAND SURVEYOR
LIC.=LICENSE
MON.=MONUMENT
N.E.=NORTH EAST
N.F.=NOW OR FORMERLY
NAD=NORTH AMERICAN DATUM
NO. / #=NUMBER
OHU=OVERHEAD UTILITY LINE(S)
P.B.=PLAT BOOK
P.I.D.=PARCEL IDENTIFICATION
P.U.E.=PUBLIC UTILITY EASEMENT
P.S. / P.S.=PAGE/PAGES
R/W=RIGHT-OF-WAY
S/W=SIDEWALK
SDMH=STORM DRAIN MANHOLE
SMH=SANITARY SEWER MANHOLE
ST=STREET
ST=STORM
U.P.=UTILITY POLE
U.S.=UNITED STATES
VA=VIRGINIA
VDOT=VIRGINIA DEPARTMENT OF TRANSPORTATION
WM=WATER METER
WMH=WATER MANHOLE
WV=WATER VALVE

LEGEND:

— PROPERTY LINE
— ADJOINING PROPERTY LINE
— DISTANCE
— R/W
— STREET RIGHT-OF-WAY
— EXISTING EASEMENT
— TRACT LINE
— EXISTING CURB
— EXISTING CURB & GUTTER
— EXISTING EDGE OF PAVEMENT
— EXISTING WALL
— OHU
— SAN
— ST
— EXISTING STORM SEWER
— EXISTING FENCE LINE
— EXISTING BUILDING
— CONCRETE AREA
— EXISTING SIGN
— PROPERTY CORNER
— HIGHWAY MONUMENT FOUND
— CAPPED ROD SET
— MAG NAIL SET
— LIGHT POLE
— UTILITY POLE
— GUY WIRE
— WATER VALVE
— FIRE HYDRANT
— WATER METER
— SANITARY SEWER MANHOLE
— SEWER CLEANOUT
— STORM DRAIN MANHOLE
— WATER MANHOLE
— SUBDIVISION LOT NUMBER
— TO DOWNTOWN

NOTE: EXISTING PLAT SURVEY FOR REFERENCE ONLY.
CONTRACTOR TO FIELD VERIFY ALL EXISTING
CONDITIONS AND UTILITY LOCATIONS

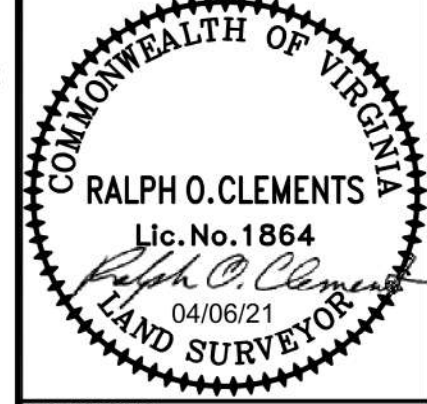


NOTES:

- THIS PLAT WAS PREPARED FOR SHAH DEVELOPMENT, LLC AND REFLECTS FIELD CONDITIONS AS OF THE DATE SHOWN AND IS BASED ON RECORD RESEARCH CONDUCTED ON 04/05/21.
- CURRENT OWNERS & LEGAL REFERENCES:
HEIRS OF LOWELL E. WADE
TAX PARCEL NO. 524-(A)-193; P.I.D. #020211; WILL INST. NO. 2019000699; DESCRIPTION IN D.B. 356 PG. 149
TAX PARCEL NO. 527-(A)-192; P.I.D. #020209; WILL INST. NO. 2019000699; DESCRIPTION IN INST. NO. 2008012466 (TRACT NO'S. 2 & 4); P.B. 4 PG. 38; HWY. P.B. 9 PG. 36
SITE ADDRESS: 510 ROANOKE ST. CHRISTIANSBURG, VA
TAX PARCEL NO. 527-(16)-88; P.I.D. #024850; D.B. 472 PG. 545 W/ PLAT; SEE PLATS IN INST. NO. 2019000493 & INST. NO. 2021001331
- THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE MAY NOT INDICATE ALL ENCUMBRANCES AND EASEMENTS THAT MAY AFFECT THE SUBJECT PROPERTY.
- THIS PLAT IS BASED ON AN ACTUAL FIELD SURVEY, USING MONUMENTS FOUND TO EXIST AND THEREFORE MAY NOT CONFORM TO PREVIOUS DEEDS OR PLATS OF RECORD.
- THE SUBJECT PROPERTY LIES IN "ZONE 'X' - OTHER AREAS", AS DEFINED BY F.E.M.A. & AS SHOWN ON F.I.R.M. MAP NO. 511210144C, EFFECTIVE DATE OF SEPTEMBER 25, 2008. THIS DETERMINATION HAS BEEN MADE BY GRAPHIC METHODS ONLY. NO ELEVATION STUDY HAS BEEN PERFORMED AS A PART OF THIS PROJECT.
- NO KNOWN IDENTIFICATIONS OF GRAVES, OBJECTS, OR STRUCTURES MARKING A PLACE OF HUMAN BURIAL WERE OBSERVED ON THE SUBJECT PROPERTY DURING THE COURSE OF THIS SURVEY.

GAY AND NEEL, INC.
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1260 Radford Street
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PLAT OF SURVEY
OF
TAX PARCELS 527-(A)-192,
527-(A)-193 & 527-(16)-88
TOWN OF CHRISTIANSBURG
SHANVILLE INDUSTRIAL DISTRICT
MONTGOMERY COUNTY, VIRGINIA



REVISIONS	
PROJECT TEAM	
PM	ROC
TECH	MTM
CREW	
SCL	WAB
GNT JOB NO.	
3206	04/06/21
SHEET NUMBER	
1	OF 1

SYMBOLS LEGEND	
VIEW TITLE	VIEW NUMBER 00 SCALE: 1/8" = 1'-0" REF: P.101 DRAWING SCALE SHEET WHERE TAKEN
BUILDING SECTION TAG	DRAWING NUMBER 1 SHEET NUMBER A301
WALL SECTION TAG	DRAWING NUMBER 1 SHEET NUMBER A101
DETAIL SECTION TAG	DRAWING NUMBER 1 SHEET NUMBER A101
COLUMN GRID LINE NEW CONSTRUCTION	DESIGNATOR XX
DEMOLITION NOTE	1 SHEET NUMBER D1
REVISION NUMBER	1 SHEET NUMBER R1
NORTH DIRECTION	NORTH
MATCHLINE	RE: REFERENCE DRAWING
CENTERLINE	L.O.C.
LIMITS OF CONSTRUCTION	L.O.C.
STAIR DIRECTION	UP / DN
BREAKLINE	
SPOT ELEVATION	1226'-0"
BENCHMARK ELEVATION	XXX LEVEL XX'-XX"

KEYNOTE INDICATOR	
A-ARCHITECTURAL / GENERAL C-CIVIL E-ELECTRICAL F-FURNISHES / FURNITURE G-GLAZING / DOORS	M-MECHANICAL P-PLUMBING R-ROOF S-STRUCTURAL W-WALLS X-EXISTING
NOTES: 1. INDICATOR LETTER IS USED FOR KEYNOTE ORGANIZATION ONLY AND IS NOT INTENDED TO ASSIGN OR EXCLUDE WORK AND/OR COORDINATION TO OR FROM SPECIFIC TRADES OR DISCIPLINES. 2. KEYNOTES ARE TYPICALLY ASSOCIATED WITH A DRAWING SERIES. KEYNOTE NUMBERS MAY VARY FROM SERIES TO SERIES. SOME KEYNOTES MAY APPEAR IN A SHEET'S LEGEND, BUT NOT APPEAR IN A DRAWING ON THAT SPECIFIC SHEET.	

ARCHITECTURAL ABBREVIATIONS			
AB	ANCHOR BOLT	LLV	LONG LEG VERTICAL
ACM	ALUMINUM COMPOSITE MATERIAL	LOC	LIMITS OF CONSTRUCTION
ACP	ACOUSTICAL CEILING PANEL	LP	LOW POINT
AFF	ABOVE FINISH FLOOR	MACH	MACHINE
ALT	ALTERNATE	MAINT	MAINTENANCE
ALUM	ALUMINUM	MATL	MATERIAL
ARCH	ARCHITECTURAL	MECH	MECHANICAL
		MO	MASONRY OPENING
		MTL	METAL
BD	BOARD		
BLDG	BUILDING	NA	NOT APPLICABLE
BLKG	BLOCKING	NC	NOT IN CONTRACT
BOT	BOTTOM	NTS	NOT TO SCALE
BRG	BEARING		
		OC	ON CENTER
C	CONTINUOUS INSULATION	OD	OUTSIDE DIAMETER
CJ	CONTROL JOINT	OH	OPPOSITE HAND
CLG	CEILING		
CMU	CONCRETE MASONRY UNIT	PLAM	PLASTIC LAMINATE
CONC	CONCRETE	PLUMB	PLUMBING
CONF	CONFERENCE	PNT	PAINTED
CONT	CONTINUOUS	PT	PRESERVATIVE TREATED
CONTR	CONTRACTOR		
CW	CASEWORK	R	RADIUS
		RCP	REFLECTED CEILING PLAN
DIA	DIAMETER	RE	REFER
		RECP	RECEPTION
EA	EACH	REIN	REINFORCEMENT
EB	EXPANSION BOLT	REV	REVERSED
EF	EACH FACE	RM	ROOM
EJ	EXPANSION JOINT	RO	ROUGH OPENING
EL	ELEVATION		
ELEC	ELECTRICAL	SCHD	SCHEDULE
ELEV	ELEVATION	SHT	SHEET
ELEV	ELEVATOR	SPEC	SPECIFICATION
EQ	EQUAL	SS	STAINLESS STEEL
EQUIP	EQUIPMENT	STL	STEEL
EW	EACH WAY	STOR	STORAGE
EXIST	EXISTING	STRUCT	STRUCTURAL
EXT	EXTERIOR		
		THRESH	THRESHOLD
FLR	FLOOR	TLT	TOILET
FRT	FIRE RETARDANT	TOJ	TOP OF JOIST
	TREATED	TOS	TOP OF STEEL
FSM	FLEXIBLE SHEET	TOW	TOP OF WALL
FTG	MEMBRANE ROOFING	TYP	TYPICAL
FTG	FOOTING		
		UNO	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	UR	URNAL
GYB	GYPSUM WALL BOARD		
GYP	GYPSUM WALL BOARD	VEST	VESTIBULE

SPECTRUM DESIGN
architects | engineers

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NEW RIVER VALLEY
COMMUNITY SERVICES
MONTGOMERY CENTER
MOUNTAIN EMPIRE SERVICES
OF THE SOUTHWEST

SPECTRUM DESIGN PROJECT NO.: 20075



PROJ. MGR.: HLW
CHECKED BY: DCV
DRAWN BY: RTT

SHEET ISSUE DATE:
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DEMOLITION DRAWINGS

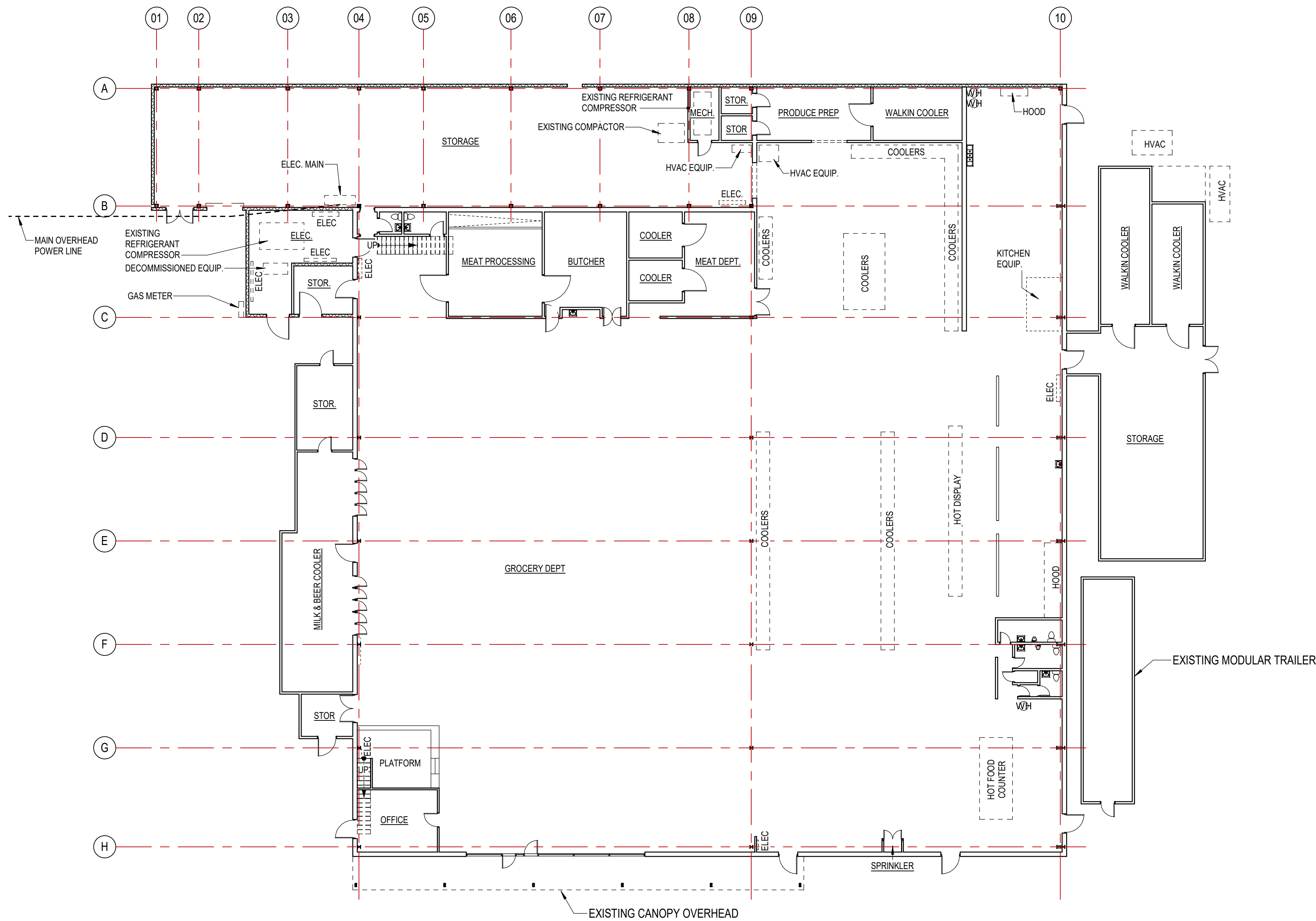
SHEET REVISIONS:

PLAN NORTH
SITE NORTH

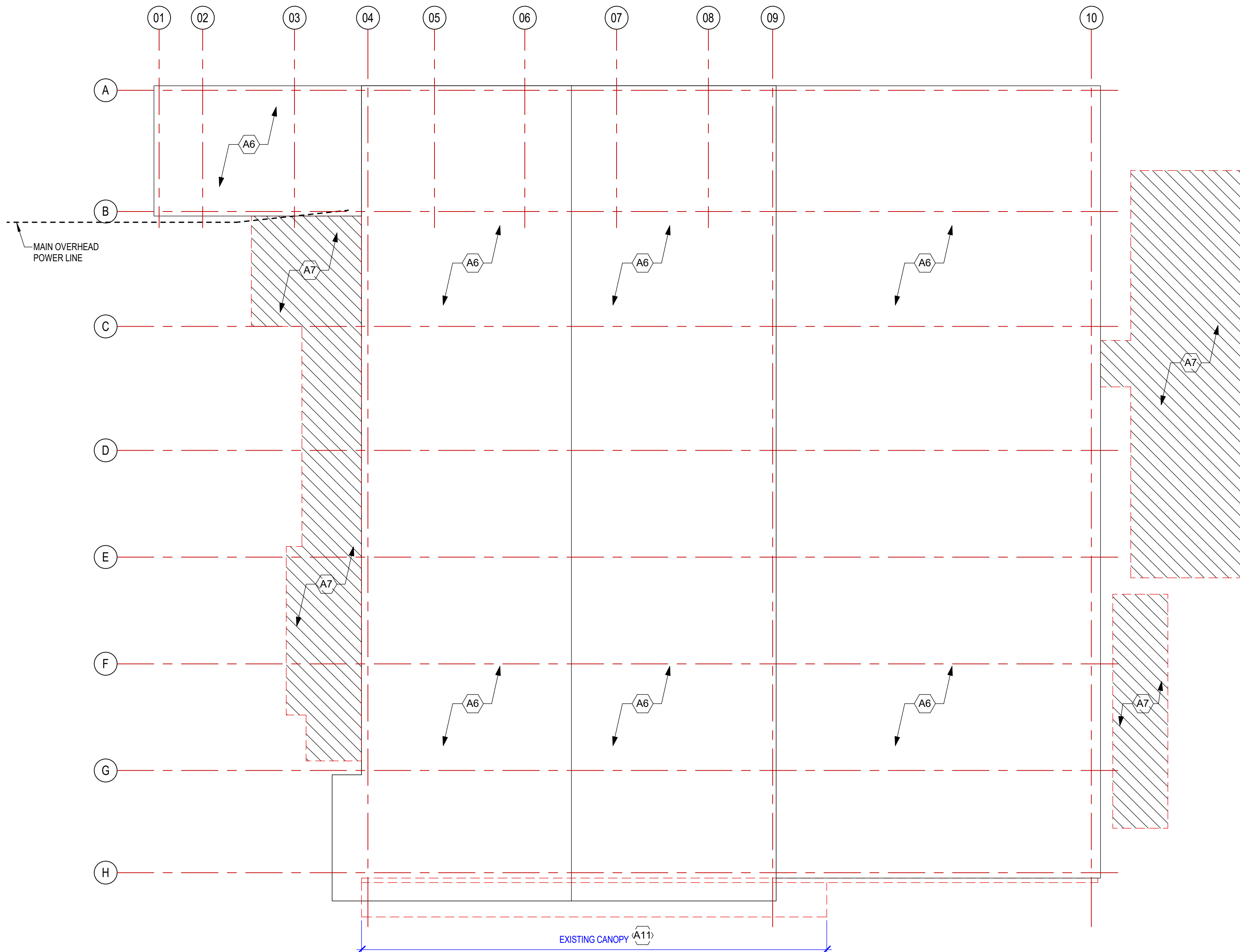
SHEET NAME:
GENERAL
ARCHITECTURAL
INFORMATION & SITE
SURVEY

SHEET NUMBER:

D100



1 EXISTING FLOOR PLAN
D101 SCALE: 1/16" = 1'-0"



2 DEMOLITION PLAN - ROOF
D101 SCALE: 1/16" = 1'-0"

DEMOLITION OF HAZARDOUS MATERIALS

ASBESTOS DISCLOSURE STATEMENT

AN ASBESTOS INSPECTION WAS PERFORMED AND ACM WAS FOUND GENERALLY IN THE AREA INDICATED. THE ASBESTOS INSPECTION REPORT IS INCLUDED AS AN APPENDIX TO THE PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL HAVE THE ACM REMOVED BY A LICENSED ASBESTOS CONTRACTOR USING APPROVED PROCEDURES. THE WORK REQUIRED FOR ASBESTOS ABATEMENT IS TO BE PERMITTED WITHIN THE OVERALL BUILDING PERMIT ISSUED. THE ASBESTOS ABATEMENT CONTRACTOR SHALL MARK UP THE AS-BUILT DRAWINGS RESULTING FROM ITS WORK TO INCLUDE AREAS WHERE ASBESTOS WAS ABATED. THE GENERAL CONTRACTOR SHALL REVIEW AND CERTIFY THE LOCATIONS WHERE ACM WAS ABATED AS MARKED ON THE AS-BUILT DRAWINGS AND WILL PROVIDE THE DRAWINGS TO THE ARCHITECT.

DEMOLITION GENERAL NOTES

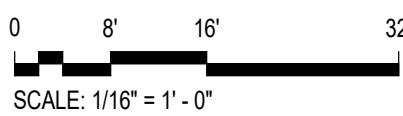
- GN-1: REMOVE WALLS AND OTHER ELEMENTS SHOWN DASHED IN THEIR ENTIRETY.
- GN-2: CONTRACTOR SHALL REMOVE / DISPOSE OF ANY AND ALL DEMOLITION DEBRIS PROPERLY AND IN ITS ENTIRETY TAKING CARE TO KEEP A CLEAN AND SAFE WORKING ENVIRONMENT AT ALL TIMES.
- GN-3: CONTRACTOR TO ENSURE WORK IS DONE IN A COMPETENT / SAFE MANNER TAKING CARE NOT TO DAMAGE OR DISTURB SURROUNDING SURFACES MORE THAN REQUIRED TO COMPLETE DEMOLITION.
- GN-4: THE OWNER HAS THE FIRST RIGHT OF REFUSAL ON ALL REMOVED ITEMS. OWNER SHALL MEET PRIOR TO COMMENCEMENT OF WORK AND PROVIDE WRITTEN OR VERBAL LIST OF ITEMS TO BE SALVAGED AND RETURNED TO OWNER.
- GN-5: CONTRACTOR TO TEMPORARILY SECURE CONSTRUCTION AREA DURING DEMOLITION. ENCLOSURE(S) SHALL BE CONSTRUCTED IN A MANNER WHICH PROVIDES A SECURE BARRIER PREVENTING ENTRY OR THEFT DURING DEMOLITION.
- GN-6: PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL INSPECT AND VERIFY THE LOCATION AND CONDITION OF ALL ITEMS AFFECTED BY THE WORK AND REPORT DISCREPANCIES TO THE ARCHITECT.
- GN-7: DO NOT DRILL OR CUT EXISTING FLOOR JOISTS, BEAMS, COLUMNS, OR OTHER STRUCTURAL MEMBERS, UNLESS SPECIFICALLY INDICATED.
- GN-8: FLOOR AREAS THAT HAVE EXISTING FLOOR FINISHES TO BE REMOVED SHALL BE PREPARED TO RECEIVE A NEW FLOOR FINISH. THIS MAY INCLUDE BUT IS NOT LIMITED TO, REMOVAL OF STONE FLOORING, GROUT AND MORTAR, AND ADHESIVE.

DEMOLITION KEYNOTES

- A1: REMOVE EXISTING PARTITION/WALL COMPLETELY INCLUDING WALL BASE, APPLIED FINISH, ROUGH-INS, DOOR(S), HARDWARE, FRAME ASSEMBLIES, ELECTRICAL ACCESSORIES, AND RELEVANT ITEMS. COLUMNS AND STRUCTURAL STEEL MEMBERS TO REMAIN UNLESS SPECIFICALLY INDICATED TO BE REMOVED.
- A2: REMOVE EXISTING TOILET ACCESSORIES (GRAB BARS, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, MIRRORS, ETC.) INCLUDING ALL ROUGH-INS.
- A3: REMOVE EXISTING FLOOR FINISH AND ASSOCIATED BASE AND ANY PROTRUDING OBJECTS, CLEANOUTS, ROUGH-INS, ETC. CAP ALL UNUSED LINES BELOW FINISH FLOOR. CLEAN AND PREPARE FLOOR SLAB TO RECEIVE NEW WORK.
- A4: REMOVE EXISTING SUSPENDED CEILING GRID, ACOUSTICAL CEILING PANELS, LIGHT FIXTURES, AND ALL ASSOCIATED PARTS.
- A5: REMOVE EXISTING EXTERIOR WALL IN ITS ENTIRETY, INCLUDING WALL BASE, APPLIED FINISH, ROUGH-INS, DOOR(S), HARDWARE, FRAME ASSEMBLIES, ELECTRICAL ACCESSORIES, AND RELEVANT ITEMS. COLUMNS AND STRUCTURAL STEEL MEMBERS TO REMAIN UNLESS SPECIFICALLY INDICATED TO BE REMOVED.
- A6: REMOVE EXISTING METAL ROOFING, INSULATION AND ASSOCIATED PARTS IN ITS ENTIRETY. METAL DECK AND STRUCTURAL STEEL PURLINS TO REMAIN UNLESS SPECIFICALLY INDICATED TO BE REMOVED.
- A7: REMOVE PORTION OF EXISTING BUILDING INDICATED IN ITS ENTIRETY INCLUDING FLOOR SLAB, FOUNDATIONS, ALL ASSOCIATED ELECTRICAL, MECHANICAL AND PLUMBING DEVICES. REMOVE AND CAP ALL UNUSED ELECTRICAL, MECHANICAL, AND PLUMBING LINES BACK TO MAIN BUILDING.
- A8: REMOVE EXISTING KITCHEN EQUIPMENT AND HOOD IN ITS ENTIRETY.
- A9: REMOVE EXISTING COOLERS, DISPLAYS, REFRIGERANT EQUIPMENT AND ALL ASSOCIATED PARTS IN ITS ENTIRETY.
- A10: REMOVE MEZZANINE IN ITS ENTIRETY INCLUDING FLOOR JOISTS, PARTITION WALLS, STAIRS, ALL EXISTING MECHANICAL, ELECTRICAL, PLUMBING EQUIPMENT, DUCTWORK, PIPING, AND ALL ASSOCIATED PARTS.
- A11: REMOVE CANOPY AND ITS ENTIRETY INCLUDING COLUMNS, STRUCTURAL STEEL FRAMING AND ALL ASSOCIATED PARTS.
- A12: REMOVE PLATFORM, FLOOR JOISTS, PARTITION WALLS, STAIRS, AND ALL ASSOCIATED PARTS TO BASE FLOOR SLAB ELEVATION. PREPARE AREA TO RECEIVE NEW WORK.
- A13: EXISTING CMU EXTERIOR WALL TO REMAIN. REMOVE UPPER PORTION OF EXTERIOR WALL ASSEMBLY IN ITS ENTIRETY WHERE WALL CHANGES CONSTRUCTION TYPE ABOVE CMU WALL. COLUMNS AND STRUCTURAL STEEL MEMBERS TO REMAIN UNLESS SPECIFICALLY INDICATED TO BE REMOVED.
- A14: REMOVE EXISTING COMPACTOR EQUIPMENT IN ITS ENTIRETY.
- A15: REMOVE AND SALVAGE INDIVIDUAL WADES LETTER SIGNAGE ON FRONT FACADE OF BUILDING.
- E1: REMOVE ALL CONDUIT, WIRING, RECEPTACLES, LIGHTING, PANELS AND ALL ASSOCIATED PARTS. TEMPORARILY CAP ELECTRICAL MAIN SERVICE. COORDINATE UTILITY SHUT OFF WITH UTILITY COMPANY.
- M1: REMOVE EXISTING MECHANICAL EQUIPMENT, DUCTWORK, PIPING, AND ALL ASSOCIATED PARTS IN ITS ENTIRETY.
- M2: REMOVE EXISTING REFRIGERANT COOLING EQUIPMENT, PIPING, AND ALL ASSOCIATED PARTS IN ITS ENTIRETY.
- P1: REMOVE EXISTING PLUMBING FIXTURES (WATER CLOSETS, URINALS, LAVATORIES, WATER HEATERS, AND HOSE BIBS) INCLUDING ALL ACCESSORIES AND ROUGH-INS. CAP ALL UNUSED LINES BELOW FINISH FLOOR. PREPARE FLOOR SLAB AND SURFACE TO RECEIVE NEW WORK.
- P2: REMOVE EXISTING REFRIGERANT LINES INCLUDING ALL ACCESSORIES, DRAINS AND ROUGH-INS. CAP ALL UNUSED LINES BELOW FINISH FLOOR. PREPARE FLOOR SLAB AND SURFACE TO RECEIVE NEW WORK.
- P3: REMOVE TROUGH AND ALL ASSOCIATED PARTS BACK TO BASE FINISH FLOOR ELEVATION. PREPARE SURFACE TO RECEIVE NEW WORK.
- P4: EXISTING WET PIPE SPRINKLER SYSTEM MAINS AND ABOVE CEILING PIPES TO REMAIN. REMOVE EXISTING MAIN VALVES, STOP VALVES, FLOW SWITCH AND CONTROL DEVICES. TEMPORARILY CAP SPRINKLER MAIN AND PREPARE AND PROTECT CONNECTION FOR RELOCATED CONNECTION IN NEW WORK.
- P5: REMOVE GAS METER AND ALL ASSOCIATED PARTS. TEMPORARILY CAP EXISTING GAS METERLINE AND PREPARE AND PROTECT CONNECTION FOR RELOCATED CONNECTION IN NEW WORK. COORDINATE UTILITY SHUT OFF WITH UTILITY COMPANY.

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING MISCELLANEOUS ITEMS TO BE REMOVED
- EXISTING DOOR TO BE REMAIN
- EXISTING DOOR TO BE REMOVED
- PORTION OF BUILDING TO BE REMOVED



SPECTRUM DESIGN
architects | engineers

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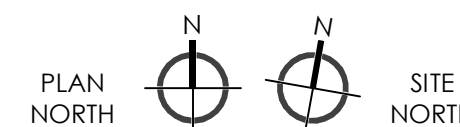


PROJ. MGR.: **HLW** CHECKED BY: **DCV** DRAWN BY: **RTT**

SHEET ISSUE DATE:
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PROJECT PHASE:
DEMOLITION DRAWINGS

SHEET REVISIONS:



SHEET NAME:

**EXISTING FLOOR PLAN &
DEMO PLAN - ROOF**

SHEET NUMBER:

D101

DEMOLITION OF HAZARDOUS MATERIALS

ASBESTOS DISCLOSURE STATEMENT

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DEMOLITION GENERAL NOTES

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- GN-3: CONTRACTOR TO ENSURE WORK IS DONE IN A COMPETENT / SAFE MANNER TAKING CARE NOT TO DAMAGE OR DISTURB SURROUNDING SURFACES MORE THAN REQUIRED TO COMPLETE DEMOLITION.
- GN-4: THE OWNER HAS THE FIRST RIGHT OF REFUSAL ON ALL REMOVED ITEMS. OWNER SHALL MEET PRIOR TO COMMENCEMENT OF WORK AND PROVIDE WRITTEN OR VERBAL LIST OF ITEMS TO BE SALVAGED AND RETURNED TO OWNER.
- GN-5: CONTRACTOR TO TEMPORARILY SECURE CONSTRUCTION AREA DURING DEMOLITION. ENCLOSURE(S) SHALL BE CONSTRUCTED IN A MANNER WHICH PROVIDES A SECURE BARRIER PREVENTING ENTRY OR THEFT DURING DEMOLITION.
- GN-6: PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL INSPECT AND VERIFY THE LOCATION AND CONDITION OF ALL ITEMS AFFECTED BY THE WORK AND REPORT DISCREPANCIES TO THE ARCHITECT.
- GN-7: DO NOT DRILL OR CUT EXISTING FLOOR JOISTS, BEAMS, COLUMNS, OR OTHER STRUCTURAL MEMBERS, UNLESS SPECIFICALLY INDICATED.
- GN-8: FLOOR AREAS THAT HAVE EXISTING FLOOR FINISHES TO BE REMOVED SHALL BE PREPARED TO RECEIVE A NEW FLOOR FINISH. THIS MAY INCLUDE BUT IS NOT LIMITED TO, REMOVAL OF STONE FLOORING, GROUT AND MORTAR, AND ADHESIVE.

DEMOLITION KEYNOTES

- A1: REMOVE EXISTING PARTITION/WALL COMPLETELY INCLUDING WALL BASE, APPLIED FINISH, ROUGH-INS, DOOR(S), HARDWARE, FRAME ASSEMBLIES, ELECTRICAL ACCESSORIES, AND RELEVANT ITEMS. COLUMNS AND STRUCTURAL STEEL MEMBERS TO REMAIN UNLESS SPECIFICALLY INDICATED TO BE REMOVED.
- A2: REMOVE EXISTING TOILET ACCESSORIES (GRAB BARS, SOAP DISPENSERS, PAPER TOWEL DISPENSERS, MIRRORS, ETC.) INCLUDING ALL ROUGH-INS.
- A3: REMOVE EXISTING FLOOR FINISH AND ASSOCIATED BASE AND ANY PROTRUDING OBJECTS, CLEANOUTS, ROUGH-INS, ETC. CAP ALL UNUSED LINES BELOW FINISH FLOOR. CLEAN AND PREPARE FLOOR SLAB TO RECEIVE NEW WORK.
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- A11: REMOVE CANOPY AND ITS ENTIRETY INCLUDING COLUMNS, STRUCTURAL STEEL FRAMING AND ALL ASSOCIATED PARTS.
- A12: REMOVE PLATFORM, FLOOR JOISTS, PARTITION WALLS, STAIRS, AND ALL ASSOCIATED PARTS TO BASE FLOOR SLAB ELEVATION. PREPARE AREA TO RECEIVE NEW WORK.
- A13: EXISTING CMU EXTERIOR WALL TO REMAIN. REMOVE UPPER PORTION OF EXTERIOR WALL ASSEMBLY IN ITS ENTIRETY WHERE WALL CHANGES CONSTRUCTION TYPE ABOVE CMU WALL. COLUMNS AND STRUCTURAL STEEL MEMBERS TO REMAIN UNLESS SPECIFICALLY INDICATED TO BE REMOVED.
- A14: REMOVE EXISTING COMPACTOR EQUIPMENT IN ITS ENTIRETY.
- A15: REMOVE AND SALVAGE INDIVIDUAL WADES LETTER SIGNAGE ON FRONT FACADE OF BUILDING.
- E1: REMOVE ALL CONDUIT, WIRING, RECEPTACLES, LIGHTING, PANELS AND ALL ASSOCIATED PARTS. TEMPORARILY CAP ELECTRICAL MAIN SERVICE. COORDINATE UTILITY SHUT OFF WITH UTILITY COMPANY.
- M1: REMOVE EXISTING MECHANICAL EQUIPMENT, DUCTWORK, PIPING, AND ALL ASSOCIATED PARTS IN ITS ENTIRETY.
- M2: REMOVE EXISTING REFRIGERANT COOLING EQUIPMENT, PIPING, AND ALL ASSOCIATED PARTS IN ITS ENTIRETY.
- P1: REMOVE EXISTING PLUMBING FIXTURES (WATER CLOSETS, URINALS, LAVATORIES, WATER HEATERS, AND HOSE BIBS) INCLUDING ALL ACCESSORIES AND ROUGH-INS. CAP ALL UNUSED LINES BELOW FINISH FLOOR. PREPARE FLOOR SLAB AND SURFACE TO RECEIVE NEW WORK.
- P2: REMOVE EXISTING REFRIGERANT LINES INCLUDING ALL ACCESSORIES, DRAINS AND ROUGH-INS. CAP ALL UNUSED LINES BELOW FINISH FLOOR. PREPARE FLOOR SLAB AND SURFACE TO RECEIVE NEW WORK.
- P3: REMOVE TROUGH AND ALL ASSOCIATED PARTS BACK TO BASE FINISH FLOOR ELEVATION. PREPARE SURFACE TO RECEIVE NEW WORK.
- P4: EXISTING WET PIPE SPRINKLER SYSTEM MAINS AND ABOVE CEILING PIPES TO REMAIN. REMOVE EXISTING MAIN VALVES, STOP VALVES, FLOW SWITCH AND CONTROL DEVICES. TEMPORARILY CAP SPRINKLER MAIN AND PREPARE AND PROTECT CONNECTION FOR RELOCATED CONNECTION IN NEW WORK.
- P5: REMOVE GAS METER AND ALL ASSOCIATED PARTS. TEMPORARILY CAP EXISTING GAS METERLINE AND PREPARE AND PROTECT CONNECTION FOR RELOCATED CONNECTION IN NEW WORK. COORDINATE UTILITY SHUT OFF WITH UTILITY COMPANY.

DEMOLITION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING MISCELLANEOUS ITEMS TO BE REMOVED
- EXISTING DOOR TO BE REMAIN
- EXISTING DOOR TO BE REMOVED
- PORTION OF BUILDING TO BE REMOVED

0 4' 8' 16'

SCALE: 1/8" = 1'-0"

SPECTRUM DESIGN
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DEMOLITION TO
NEW RIVER VALLEY
COMMUNITY SERVICES
MONTGOMERY CENTER
MOUNTAIN EMPIRE SERVICES
OF THE SOUTHWEST

SPECTRUM DESIGN PROJECT NO.: 20075



PROJ. MGR.: HLW
CHECKED BY: DCV
DRAWN BY: RTT

SHEET ISSUE DATE:
04.07.2022

PROJECT PHASE:
DEMOLITION DRAWINGS

SHEET REVISIONS:

PLAN NORTH

N

N

SITE NORTH

SHEET NAME:

DEMOLITION PLAN

SHEET NUMBER:

D102

1 DEMOLITION PLAN

D102 SCALE: 1/8" = 1'-0"

